

# Inspection Report

*Prepared Exclusively For*

**Kyle Busch**

123 Whatahouse Rd Woodside, Ca 94062

Inspection Date: 03/10/2017

Report # 201703-064



*Prepared by:*



Po Box 2425 Redwood City, Ca 94064

(650)365-4778

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*Proud Member of:*

*American Society of Home Inspectors (ASHI), California Real Estate Inspection Association (CREIA)-retired, Kaplan-ITA School Instructor-retired, International Code Council Professional Member (ICC), California Building Inspectors Group (CALBIG) Member, Western Construction Consultants Association (WESTCON) Member, Forensic Expert Witness Association (FEWA) Associate Member*

**The 123 Whatahouse Rd Woodside Ca 94062 Report**

Inspected on 03/10/2017

Exclusively Inspected For **Kyle Busch**

**Report # 201703-064**



**Po Box 2425 Redwood City, Ca 94064**

3/15/2017

Kyle Busch  
123 Whatahouse Rd  
Woodside, CA. 94062

Dear Kyle Busch,

Thank you so much for the opportunity to serve you by performing a property inspection at 123 Whatahouse Rd in Woodside, CA 94062. As the president of Eagle One Services LLC, I appreciate the confidence you have placed in us by allowing us to serve you in this way.

I realize that whether you're the buyer or the seller, this can be stressful given the importance of the information provided. It is my hope the inspection that has been provided has helped in making your experience with our company a positive event and that you learned something about a home as well.

The inspection and consulting business is for the most part a referral-based business. If you were pleased with our services, I would greatly appreciate any referrals to friends or colleagues. I would also welcome you to send a testimonial for our website or a posting to either Yelp or AngiesList. Your referral is the highest compliment my company could receive.

If you have **any questions** about your inspection report please do not hesitate to call at 650-365-4778 during normal business hours or by email at [Ea1ServicesLLC@Gmail.com](mailto:Ea1ServicesLLC@Gmail.com). You can also visit our website at [www.ea1services.net](http://www.ea1services.net)

Thank you again for the opportunity to serve you.

Sincerely,



Jeff Frishof  
President-Eagle One Services, LLC

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# REPORT DEFINITIONS & SCOPE

## This Report Complies with the Business and Professions Codes 7195-7199

\*Note: *Italicized* words in this document are defined in the Glossary of Terms.

- A. A real estate *inspection* is a non-invasive physical *examination*, performed for a fee, designed to identify *material defects* in the *systems, structures, and components* of a *building* as they exist at the time of the *inspection*. The specific *systems, structures and components* of a *building* to be examined are listed below.
- B. A *material defect* is a *condition* that significantly affects the value, desirability, habitability, or safety of the *building*. Style or aesthetics shall not be considered in determining whether a specific *system, structure, or component* is defective.
- C. These standards provide inspection guidelines, make public the services provided by private fee-paid inspectors, and define certain terms related to these inspections.
- D. Unless otherwise agreed between the *inspector* and client, these standards shall apply to the *primary building* and its associated *primary parking structure* only. The *inspection* shall be limited to those specific *systems, structures, and components* that are present and visually accessible. *Components and systems* shall be operated with *normal user controls* only and as conditions permit. *Inspections* performed accordance with these standards are not intended to be *technically exhaustive*.
- E. *Inspection reports* shall describe and identify in written format the inspected *systems, structures, and components* of the *building* and shall identify *material defects*.
- F. *Inspection reports* may contain recommendations regarding conditions reported or recommendations for *further evaluations by appropriate/qualified persons*.
- G. As stated in our *Inspection Agreement* this report is not a confirmation of compliance of any local building code or zoning ordinances. Any inference or reference to either is done so as a courtesy only and intended to be a description of current accepted standards only when no better explanation can be provided. **THIS IS NOT A CODE COMPLIANCE INSPECTION.**

The inspector has inspected the major structural components, plumbing, electrical and heating systems and/or components for signs of material defects or non performance or may just be in need of general repair or upgrades. Testing of any reported system or component is with normal user controls and only the very basic of functions of a system. Testing of timers, thermostats settings for accuracy or other more advanced systems will not be provided. Any detailed evaluation of advanced components or systems should be by a qualified expert or technician. The inspection report findings are compiled in accordance with current Standards of Practice of the American Society of Home Inspector (ASHI) and in accordance with the statements made by the State of California Business and Professions Codes 7195-7199. Copies of these standards are available at the web site, [www.ea1services.net](http://www.ea1services.net).

There may also be areas or components that would be excluded as part of a routine home inspection but were inspected on a limited level. These could include but would not be limited to, pools, spas, detached structures, septic systems, water treatment systems, landscape watering, low voltage lighting, telephone or cable TV. Any inspection of these areas or components would be done as a courtesy or advisory statement only and should not be relied upon as part of the stated standard home inspection. For complete evaluation of these areas or components it is recommended you retain the advice and services of a qualified specialist/professional who is familiar with that area of expertise.

It is possible that portions of the residence were inaccessible at the time of the inspection. This may be due furniture or personal belongings which the inspector is not expected to move. It is recommended that if there are inaccessible areas or components reported, access be provided prior to close of escrow for inspection of reportable conditions. Failure to do so will cause Eagle One Services LLC and its inspectors to be held harmless from any actions resulting in any future claims action.

Our report of condition is not intended as an overall criticism of residence, but as a professional opinion on the state of areas, components or a combination of both based on observations **on the day** of the inspection.

Any and all verbal discussions of conditions should not be relied upon as the final opinions given. Only those opinions expressed

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within this report shall be considered as final opinion of observed conditions. It is the responsibility of the reader of the report to read this report entirely and to contact Eagle One Services LLC with any and all questions that are not answered to their satisfaction. Your failure to contact Eagle One Services LLC for clarification will hereby release our company of financial responsibility to correct should a misunderstanding exists at a later date.

At the lower right corner of all pages of this report is a page initial line. Should any questions be raised by **anyone** relying upon our report either prior to or after the close of escrow, the persons claiming or their representative to rely upon our report will be asked to furnish a copy of the initialed report page in which the concern is to be addressed prior to any official response. By initialing the page you accept all terms as stated in this report **and** our Signed Inspection and/or Consultation Agreement.

## CONDITION CODE DEFINITIONS

### SAFETY CONCERNS

**[SC] Safety Concerns:** Conditions noted that may pose a hazard to humans, the building and/or both. These conditions when reported, warrant immediate further evaluation and corrections by the appropriate/qualified persons "specialist in the appropriate trade or profession".

### CORRECTIONS RECOMMENDED

**[CR] Corrections Recommended:** Conditions noted in need of maintenance, repair or replacement. We recommend that all corrections be made only by the appropriate persons "specialists in the appropriate trades or profession".

### RECOMMENDED UPGRADE

**[RU] Recommended Upgrades:** Systems and/or components that may not have been available, required or have been improved since the building was constructed. These may be, but are not limited to safety related items; such as GFCI receptacle, CO/smoke detector locations and the installation of safety glass where subject to human impact. If any remodeling and/or repairs are done on this property and/or structure, upgrading may be required of various systems and/or components. It is recommended that prior to any repairs or remodeling, you verify with the local building department all plans for needed upgrades comply with the then currently accepted trade/building standards.

### FURTHER EVALUATION

**[FE] Further Evaluation:** Conditions noted that warrant further evaluation by the appropriate/qualified persons "specialist in the appropriate trade or profession".

### ADDITIONAL DEFINITIONS

**Appropriate Specialist:** A person who has the required license, training and/or background to properly evaluate and correct the reported condition.

**Deficient:** A system or component that, in the inspectors professional judgment, lack an essential quality or element that is likely to have an important impact on its ability to perform its intended function or purpose.

**Functional:** The system or component is considered to be functional when it responds to normal use of controls installed or shows no visible sign of failure or damage.

**Normal Operating Controls:** A device such as a thermostat, switch or valve intended to be operated by the occupant without outside equipment such as a remote control.

**Readily Accessible:** Available for visual inspection without requiring the moving of personal property, dismantling, destructive measures or actions that will likely involve risk to persons or result in damage of property.

**Representative Number:** One component per room for multiple similar interior components such as but not limited to windows and receptacles.

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## INSPECTION INFORMATION

The clients are advised that it is their sole responsibility to read this report in its entirety and to research any and all jurisdictional permits required by the local authorities regarding the property. You are advised to do so prior to the removal of any/all contingencies. All buyer/clients or readers of this report are advised to personally perform a diligent visual inspection of the property after the seller/client vacates to insure that no "condition" was concealed by personal property and/or stored items while occupied or damaged during the seller's evacuation of the building. Should any "condition" be revealed that was not addressed within this report prior to close of escrow or 72 hour right of rescision, Eagle One Services LLC and its inspectors limits its responsibility to the provision of recommended repair only and will not be responsible for actual repair and/or replacement of that area/component which was not disclosed whether to the buyer or Eagle One Services LLC. Please contact our office immediately for an additional evaluation regarding such visible "conditions" which may be observed prior to the close of escrow or the removal of buyers contingencies. The client named in our agreement whether buyer or seller is advised that failure to follow these procedures will limit the responsibility of Eagle One Services LLC or its inspectors to only those items stated in the originally delivered report.

Our report is not a substitute for the property owner/s Disclosure Statement" under Sections 1102, 1102.2, 1102.4, and 1102.5 of California Real Estate Law, and does not relieve the property owner from providing the required disclosure forms under Section 1102.6.

Eagle One Services LLC cannot control the interpretation and use of this report by anyone including third parties and will absolutely not assume any legal responsibility for any such use or interpretation as many "On-Site" discussions of observed conditions are verbally communicated during the course of our inspection on the above date of this report. Therefore, it is requested that buyers, sellers or other interested parties, if so authorized by our clients in writing, who enter into a ratified sales contract for purchase and/or sale of this property agrees to call Eagle One Services LLC for a personal "On-Site" review/consultation of the conditions described within this report for any clarifications of our findings. **Under no circumstances** will discussions take place over phone or by video conference without a prior written and signed Inspection or Walk Through Agreement.

The cost of an "On Site Review/Consultation" is 50% of the original inspection fee paid to Eagle One Services LLC. Failure to comply with this request will relieve and hold harmless Eagle One Services LLC of any responsibility or legal liability to the buyers in contract due to lack of understanding or possible misinterpretation of disclosed conditions contained within our report.

Our inspection is intended to follow the recognized standards of care of the pursuant to sections 7195-7199 of the State Business and Professions Code currently required of professional home inspectors in the State of California, a copy is readily available at the web site [www.leginfo.ca.gov](http://www.leginfo.ca.gov).

In the event any opinion, definition, or verbal explanation expressed and/or contained in our inspection report is not totally clear in concept, please call us immediately at 650.365.4778 for further arrangement of consultation at the site during our normal office business hours, 9:00am to 5:00pm, Monday through Friday to arrange a convenient time for all involved parties to review any of your concerns. **It must be clearly understood that it is the readers responsibility to follow up with any questions that they may have so as to prevent any misunderstanding's of the findings within the body of this report prior to the close of escrow.**

### INTRODUCTORY NOTES

#### IMPORTANT INFORMATION

[NOTE] We are not soil or geotechnical engineers and cannot render an opinion regarding soil stability or potential soil movement. If desired, a qualified specialists in the appropriate trade should be consulted on these matters.

[NOTE] Recommendations for repair or additional evaluation by contractors, design professionals, and/or tradesperson refer only to persons holding a valid license of the proper category issued by the California Contractors State License Board or other competent agency, and having the required skills and experience necessary to perform the work according to applicable regulations and trade standards. Should it be unclear to the client whether buyer or seller as to what type of specialist should be retained, it is the clients responsibility to contact Eagle One Services LLC for clarification.

When recommendations for correction, repair or further evaluation is made within this report, it is to be understood that this recommendation is our advisement to follow through prior to the transfer of the real property from one owner to the next.

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Failure to follow this recommendation whether buyer or seller, will release Eagle One Services LLC and its inspectors from any financial responsibilities. Since we are not an enforcement agency, the decision to follow through or not is ultimately the readers of the report sole decision.

Discussions on pricing to perform the repairs is beyond the scope of our inspection and should not be expected by the client/reader. Costs are dependent upon both material and labor of which only the appropriate contractor can provide you with accurate information. It is not within the scope of the report to provide a detail on what methods or materials should be employed when making the repairs. It is not uncommon to find additional work to be needed once the contractor begins the detailed evaluation required in making a determination on corrections needed. The client/reader is advised that it is the sole responsibility of the client/reader to acquire those costs from the appropriate tradesperson prior to the close of escrow. Eagle One Services LLC is not an enforcing agency and any failure to follow through with these advisements by the client is at their sole discretion.

[NOTE] It is beyond the scope of our standards to return to verify any repairs that are made. The client/reader is hereby advised to request repair invoices which should include, a full description of the work provided, implied warranties and copies of any required building permit with a final signature from the local building department. When jurisdictional inspections are required and not undertaken, it is possible that the current owner will be issued a notice of violation or fines due.

[NOTE] It is recommended you obtain equipment operating manuals, manufactures installation instructions and documentation for all warranted items of the building.

[NOTE] The client is advised to inquire about any/all permits and local jurisdictional inspection records with final signatures for any changes or additions that may have been made to the building, and/or any known conditions that may have been inadvertently left out of the disclosure statements. When making any repair or property improvement, building permits and inspections may be required and it is your responsibility to discuss this with the local building departments if you are unsure. Failure to not acquire required permits can result in legal action taken by the local building department.

[NOTE] This inspection report and its finding are held to the observations on the date of the original visit to the home. It is the intent of this report to identify any area or component that would require upgrades, further evaluation and/or correction. Additionally if areas or components are reported to be inaccessible, and we are requested to return to inspect these areas or components, you are advised that return trip charges will be applied and are due at that time of any return to site visit for this purpose. If the inspector is requested by any person relying upon this report to return to the site, it may be possible that area or component conditions have changed. Eagle One Service LLC is not responsible for conditions that have changed due to acts of mother nature or service personnel which have been retained to address any concern. If any reported condition is further evaluated/corrected, the person relying upon this report should request a written invoice documenting the work from the service company retained to repair the noted conditions.

[NOTE] It is recommended you have the locks of all exterior doors re-keyed and if alarms are provided, they should be recoded after taking possession of the building for security reasons.

[NOTE] Photographs, when used, are simply a tool to convey our findings, they are not intended to enhance those findings or diminish any findings not photographed. Where diagrams from the Code Check series of booklets are provided, Eagle One Services LLC wishes to thanks the authors and illustrators for providing the diagrams for added information to be used in additional descriptions of the standard of installation as stated in our report. The Code Check Series of booklets can be purchased for personal use at [www.codecheck.com/index.html](http://www.codecheck.com/index.html)

[NOTE] It should be clearly understood by any person reading this report that any inference that this is a "Code" or "Code Compliance" inspection report is incorrect. Our recommendations are made based upon a wide variety of standards that were either in place at the time of original construction of the home or may have become the standards of any of the trades since that time. Any/all adopted building codes are intended as a minimum standard and not necessarily the best method of installation. Therefore this report is not intended as stating whether or not any area or component is "Code Compliant", but rather based upon our opinion that visual conditions exists which needs further attention. If you should have any concern that an area of the home or property or any component has been installed in accordance with local building department standards, it is recommended that you contact your local Authority Having Jurisdiction or AHJ. When no better explanation can be provided in a clear manner, this report may include the currently accepted code statements as a courtesy only to the reader and not as a comment on code compliance. It is also recommended that you request all installation/service manual be provided which may have more restrictive installation requirements.

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**GENERAL COMMENTS**

[NOTE] Product recalls and consumer product safety alerts are added constantly. If the clients are concerned about appliances or other items installed in the home that may be on such lists, the clients may wish to visit the U.S. Consumer Protection Safety Commission (CPSC) web site <http://www.cpsc.gov> or [www.recalls.com](http://www.recalls.com) for further information. A basic home inspection and the recognized standards of practice does not include the identification or research for appliances and other items installed in the home that may be on the CPSC lists.

**CLIENT & SITE INFORMATION**

**FILE/DATE/TIME**

File #201703-064 - 123 Whatahouse Rd Woodside Ca 94062 Date: 03/04/2017 Time: 10:00 AM

**CLIENT NAME**

Kyle Busch

**LOCATION**

Woodside, California

**BUYER'S AGENT**

N/A

**LISTING AGENT**

Not provided at the time of the inspection by either the client or clients representative.

**WEATHER/SOIL**

Weather conditions at the time of the inspection were moderate rain was presently falling or had fallen within the past 24 hours, the temperature was 50-60 degrees, and the ground was wet.

**MAIN ENTRY**

Any statements made in the body of this inspection report pertaining to left, right, front or rear were referenced by standing in front of and facing the building or the entrance to the residence when the unit is located in a common building/structure. The entrance to this residence faces primarily west.

**BUILDING CHARACTERISTICS**

**STRUCTURE**

Age: Estimated to be approximately 65 years old, 2 story, single family residential dwelling.

**UTILITY SERVICES**

**ELECTRICITY**

The main electrical service panel and disconnect were located on the right of the home.

**GAS UTILITY SERVICE**

The gas meter and shut off was located on the left of the home.

**WATER/SEWER**

The location of the main water service shut off valve was on the front of the home.

**UTILITIES**

At the time of the inspection all utilities supplied to the residence were on.

**OTHER INFORMATION**

**PEOPLE PRESENT**

Those who were present are the time of the inspection were the client, listing agent, pest inspector and the inspector.

**BUILDING OCCUPIED**

The residence was occupied and access to some items such as; electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report. It is advisable, that once the personal belongings have been removed, that those areas which were not inspected be visually inspected for signs of reportable conditions. It is the sole responsibility of the client(s) to notify Eagle One Services LLC immediately if conditions are noted prior to either the removal of contingencies, the close of escrow or release of any associated legal claims against, sellers, contractors or other involved entities. Any failure to do so, will result in Eagle One Services LLC and its fellow inspectors, accepting no responsibility from any claim which may arise out of this discovery.



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## INSPECTED BY

Jeff Frishof

## COMMENTS

Where noted, material physical deficiencies in the systems, structures, and/or components of the building are preceded by condition codes i.e. [SC], [FE], [CR] and [RU]. Each code is defined in the "Condition Code" section of this report. While conditions noted may be of lesser concern to the persons reading this report, we recommend all repairs, or corrections be made by the appropriate persons "specialists in the appropriate trades" using currently approved methods prior to the close of escrow and/or the removal of contingencies.

## ENVIRONMENTAL ISSUES OR CONCERNS

Environmental issues include but are not limited to carbon monoxide, toxic molds, mildew, radon, asbestos, lead paint, lead contamination, toxic waste, formaldehyde, electromagnetic radiation, buried fuel tanks, ground water or soil contamination. The lack of statements noting any of the named environmental issues does not equate to a statement that they do not exist. If conditions are stated that there is a possibility of their presence or a need of further evaluation/remediation of same, then the **appropriate and qualified** specialists should be contacted for further testing and determination of any needed remedy. Most of the concerns stated, require laboratory testing to verify the condition.

These specialists and laboratories have invested significant time and money into the training of personnel for testing of and remediation of these substances. As a home inspection company Eagle One Services LLC and its inspectors **are not licensed, qualified or adequately trained** in these disciplines and it is recommended the client retain the advice and services of licensed/qualified specialist. Eagle One Services and its inspectors as stated in the signed Inspection Agreement is excluded from testing of these substances. For further information, it is recommended that you acquire the publications from the State of California, "Environmental Hazards: Guide for Homeowners and Buyers" from your real estate professional agent or broker. Any information provided on possible issues listed above is done so with the understanding that you will follow through with further evaluation by the appropriate specialist.

## GENERAL ENVIRONMENTAL INFORMATION

### **MICROBIAL CONCERNS**

Conditions commonly associated with any form of microbial growth **may or may not** be present in this residence. Current standards for home inspections only requires a reporting of conditions which may be caused by some form of moisture intrusion and/or damage. Actual inspection for and/or identification of molds/mildews is beyond the scope of this inspection and the inspector is not qualified to properly identify this type of concern. **If conditions are reported** relating to possible moisture damage, it is recommended further testing and/or remediation by a qualified specialist such as an industrial hygienist with a degree in mycology, aerobiology or microbiology sciences be made. Repair/correction of moisture damage or mold remediation should follow any/all currently accepted standards such as but not limited to, the guidelines of ASTM (American Society of Testing and Materials), EPA (Environmental Protection Agency) [www.epa.gov/mold/moldguide.html](http://www.epa.gov/mold/moldguide.html) , IICRC S500 (Institute of Inspection, Cleaning and Restoration Certification) for Water Damage Restoration or IICRC S520 for Mold Remediation. Failure to follow these or other locally accepted standards can and will result in reoccurring problems and the need for additional corrective actions. Eagle One Services LLC does will not accept responsibility for any failure on the clients part to not follow currently accepted protocol in any remediation either by the client or contractors hired by the client. It is the sole responsibility of the client to research/verify that any contractor is qualified/licensed to provide services of correction/remediation.

### **ASBESTOS**

Actual inspection for materials commonly associated with asbestos is beyond the scope of a routine home inspection. Your inspector may identify materials that would typically test positive for asbestos content. Homes built prior to the late 70's or even the early 80's have a potential for this type of material being used. However, since the inspector is not licensed to make this determination, further investigation if concerned should be done by a qualified/licensed testing facility and/or contractor.

[CR] It was noted in the attic area that materials that may contain asbestos have been abandoned.

**Recommendation:** Removal of the materials by a qualified contractor is recommended.

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## LEAD

Actual inspection for materials commonly associated with lead is beyond the scope of a routine home inspection. Lead is known to exist in the building products used prior to 1978. In April of 2010 new laws were enacted that require the disclosures of lead in home products. Additionally, remodeling and painting contractors have a state mandated responsibility to verify that lead is not being used in any products installed or debris removed from the building. Any work performed without proper certification or disclosure can be subject to large fines. This is also required for any repairs or improvements that are made to market the home. More information can be found at the following websites:

<http://www.epa.gov/lead/pubs/leadinfo.htm#remodeling>

<http://www.epa.gov/lead/pubs/traincert.htm>

As to current testing or supervising firms, the website below is a great resource.

<http://www.cdph.ca.gov/programs/CLPPB/Pages/LRCCertList-SF.aspx>

## GENERAL COMMENTS

[NOTE] As an overall comment, if moisture stains are present in the home and/or reported, it is strongly recommended that you either retain the advice and services of a State Licensed Structural Pest Control Operator for review of those areas, or review any current pest inspection reports which may be available. These reports are the best source to determine if further evaluation, repair or general observation of the stain is required. Any failure to review this important document may result in a moisture intrusion problem that can be costly to repair if left unattended.

## STRUCTURAL COMPONENTS

The structural elements to be identified according to the standards of practice are the structural components which may include but are not to be limited to foundation slab and/or stemwall, floor support systems, anchor bolting of the foundation, wall and roof framing and sheathing. In some cases such as in a condominium or townhouse, these structural components may not be visible and will be so identified. Our inspection of these components will report conditions which **may** need further investigation by the appropriate specialist, be in need of repairs or **may** be outdated and no longer would comply with accepted residential building standards.

The inspector is **not** expected by the standards of practice to enter under-floor or attic areas that are not *accessible* or where entry could cause damage or pose a hazard to the inspector, move stored items, vegetation or debris, or perform any excavations or other *intrusive* testing to gain access, identify size, spacing, location, or adequacy of foundation bolting and bracing *components* or reinforcement.

**It is our advisement that all *material defects* noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## STRUCTURAL DESCRIPTION

### FOUNDATION TYPES

The type of foundation is raised foundation with a concrete perimeter stemwall and interior wood beams supported by concrete piers with wood posts.

### FOUNDATION MATERIALS

The foundation material for this structure was poured in place concrete.

### WALL FRAMING

The wall framing is not visible for inspection due to the installation of finished materials. Any comments made are based on reflections in the finished materials. Although it can not be confirmed it is our opinion that framing is wood.

### ROOF FRAMING

Framing types: The roof framing where visually accessible was conventional stick framing

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### ROOF SHEATHING

Materials: The roof sheathing materials where visually accessible were plywood over skipped sheathing (spaced boards)

## FOUNDATION AND SUPPORT COMPONENTS

### FOUNDATION CONDITIONS

[CR] The concrete foundation had evidence of moderate cracking or cracks that were wider than 1/8 of an inch. This may be due to settlement/movement of the supporting soils at a number of locations.

**Recommendation:** While it would be expected that an older home such as this would have some cracking present, it is recommend the noted conditions be further evaluated and corrected by a specialist in the appropriate trade such as but not limited to a geotechnical/structural engineer.



### SUPPORT PIERS

[RU] The visible areas of the piers and posts are functional. It was noted that the pier installation has been partially improved since the original construction of the home. Brackets were installed to resist lateral movement at these locations. While no functional problems were observed, it is general understood that this would require building permits and inspections.

**Recommendation:** Verification that this was done is recommended but not required for transfer of sale. Upgrading of those piers that were not currently upgraded would be recommended.

### MUDSILLS/RIM JOISTS

The mudsill plate is the first wood and/or metal member installed on top of the foundation material and in which anchor bolts would be found in current residential construction.

[FE] The mudsill for this home has been "wet set" in the perimeter concrete. This was an acceptable trade practice when the home was originally constructed. Inspections are limited to the side portion of the timber. At the time of the inspection some surface staining was present overall. The materials were dry.

**Recommendation:** Review of additional comments in the current pest report would be recommended.

### SUBFLOOR

The subfloor was inaccessible and not visible for inspection due to insulation. Areas around the plumbing locations, e.g. bath and kitchen, were temporarily pulled away to inspect the subfloor in these locations. No visible signs of reportable conditions were noted in these areas.

## SEISMIC ANCHORING AND BRACING COMPONENTS

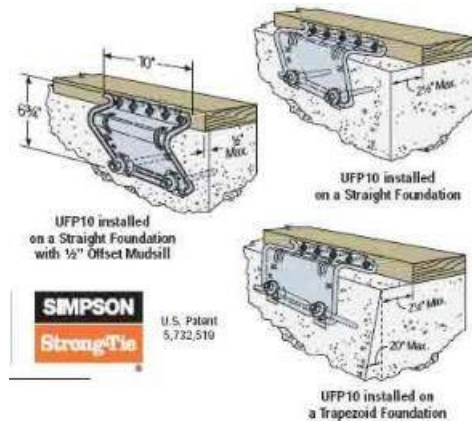
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## ANCHORING & BRACING



Anchor bolts are fasteners that connect the wood framing to the foundation. They help to limit the ability of the framing to move independently on the foundation in the event of seismic activity. Our inspection of the bolts is considered a representative sampling due to the fact that not all bolts may be available for visual inspection due to either finished surfaces, installation of shear panel or other conditions making inspection not possible. Older technology may also be a factor and if discovered, the need for upgrading would then be recommended.

[RU] The foundation anchor bolts or the hardware designed and installed to anchor the mudsill to the foundation is judged by current residential building standards to be minimal. Current standards call for anchoring to be spaced at no more than 6 feet apart and that bolts should be a minimum 1/2 inch diameter and possibly with larger washers. There may also be additional hardware requirements for structures that are in excess of a single story/level.

As to any structural bracing within walls these areas are covered by either plywood or interior finishes. This prevents a detailed evaluation of the bracing. It should be noted that with remodeling there may be a need for evaluation and upgrades.

**Recommendation:** It is recommended you consider the installation of additional anchoring, wall bracing (if exterior walls are impacted) and/or seismic connectors as a foundation upgrade and part of home improvements. This may be required if additions or modifications to the structure are made.

## WALL FRAMING

### EXTERIOR WALL FRAMING

Exterior wall framing for this home is non-visible for observation. No specific concerns were noted at the time of the inspection to suggest concern. Because of concealment, shear bracing, which is designed to resist lateral force, can not be confirmed. It should be clearly understood that with any future remodeling or additions upgrades are likely to be required. Only a licensed/qualified structural specialist should be retained to make any framing alterations or improvements.

### INTERIOR WALL FRAMING

Interior wall framing for this home is non visible for observation. No specific concerns were noted. It should be clearly understood that with future remodeling or additions upgrades are likely to be needed. Any desires for remodeling that involve interior walls should be under the guidance of a qualified structural engineer.

## ROOF FRAMING AND SHEATHING

### RIDGE/ROOF RAFTER FRAMING

[NOTE] The original framing was noted to be in functional condition. Although the framing or hardware attachment does not conform to present standards, no adverse conditions were noted which require further evaluation of the framing members at this time. It should be noted that if remodeling is done within this structure, it may be required that the framing or framing hardware be upgraded to conform with the current residential building standards in place at that time.

### PURLINS

Purlins are boards that run perpendicular to the roof rafters at mid-span between the walls and ridge beam. The purlin is held in place by braces fastened to the load-bearing walls. The purlin's function is to prevent/minimize roof rafter sag.

[RU] It was observed that some of the wood members of the purlins were sagging. The amount of sagging is not in the opinion of the inspector significant.

**Recommendation:** As part of overall improvement to the property it is recommended that the bracing be upgraded for additional strength.

### CEILING JOISTS

The ceiling joists were concealed by thermal insulation and could not be visually inspected.

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## ROOF SHEATHING

[NOTE] It was observed that the fasteners used to secure the roof felt paper and roof surface materials have penetrated the sheathing. This can create the opportunity for water intrusion into areas below. While no specific area was noted to exhibit moisture problems, this area should be observed during the rain seasons for possible leakage. The next time the roof surface is replaced, it is important that the contractor not penetrate the roof sheathing.

## CRAWL SPACE

The inspector is required to identify the location of accesses, ventilation and drainage issues which may affect the overall performance of components in this area. The inspector is not required to test drainage or mechanical ventilation systems which may exist in this area. Common in crawl space areas is to find cable TV, audio/visual or alarm system cables in the crawl space area. The inspector will take precaution not to cause damage to this wiring if found to lay upon the grade or otherwise not be supported to prevent damage. It should be understood by the reader/client that any damage as a result of our access to this area is the clients responsibility to have corrected when not properly anchored or supported. Additionally, the inspector is not required to enter into crawl spaces which may be considered as common areas normally maintained by the Home Owners Association.

**It is our advisement that all *material defects* noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## CRAWL SPACE ACCESS

### LOCATION OF ACCESS

The underbuilding crawl space area was accessed from the exterior at the left side of the residence.

## FIREBLOCKING/VENTILATION

### VENTILATION

[RU] The vent openings were fitted with louvered grills. This type of cover restricts air circulation and is easily clogged with debris.

**Recommendation:** To improve crawl space ventilation, the louvered covers should be removed and 1/8" x 1/8" hardware cloth installed in their place.

## UNDER-FLOOR MOISTURE AND DRAINAGE SYSTEMS

### MOISTURE

[NOTE] At the time of the inspection the crawl space area was damp. However no adverse conditions were observed. Annual inspection of the area during heavy rainfall is recommended. If pooling is discovered, upgrades to the drainage would be recommended.

**Recommendation:** For more details on drainage or other steps to reduce dampness of the crawl space, it is recommended you retain the advice and services of a qualified specialist.

### BARRIER

Non-structural concrete has been installed in the crawl space area. This is beneficial in maintaining the overall level of moisture in the area. If cracking is noted in the surface of the materials, it is our recommendation that it should be patched or repaired.



## ATTIC AREA

Items to be identified and reported are the attic access opening(s) and accessibility, insulation materials/type and ventilation.

The *inspector* is not required to enter attic areas that, in the opinion of the inspector, are not accessible, or where entry could cause damage, remove insulation materials or identify composition or "R" value of insulation material or activate thermostatically operated fans.

**It is our advisement that all *material defects* noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

### LOCATIONS/TYPES

#### LOCATIONS/TYPES

The attic was accessed from the upper hallway ceiling

### ACCESS OPENINGS AND ACCESSIBILITY

#### ATTIC ACCESS

[RU] The attic area was inspected from the hatch area only due to the lack of platforms or planks for transitioning across the ceiling joists. This is a limited inspection of the attic.

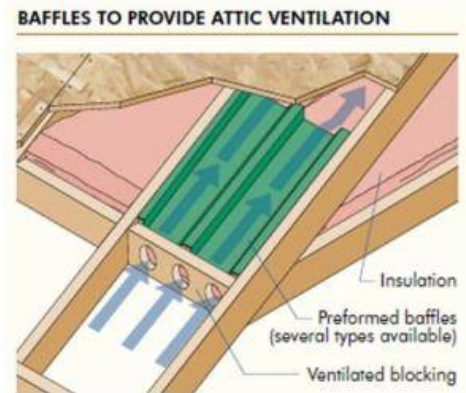
**Recommendation:** It is recommended that planks or platforms be permanently installed across the joist to allow easy access to the attic for annual inspections.

### INSULATION MATERIALS

#### INSULATION

[RU] Although the insulation materials were not blocking the vent openings, it is important that this does not occur. Baffles at this location can allow insulation to cover the ceiling framing to wall connection while also allowing air flow at the vent.

**Recommendation:** As part of property improvement, installation of a baffle at all eave openings should be considered.



### VENTILATION

#### VENTILATION

The visible attic ventilation appeared adequate. Attic ventilation is extremely important to the general "health" of a dwelling and can be provided by eave/soffits, gable, or ridge vents. Thermostatically controlled fans and wind driven turbines are sometimes used to augment passive ventilation. While no absolute formula for attic ventilation under all circumstances exists, experts generally agree that attic ventilation should remove excess heat and moisture from an attic space without the need for any moving elements, such as fans or turbines and should be roughly equivalent to 1.5 square inches of free vent area (about half the area of screened, louvered vents) for every square foot of attic floor. Total ventilation should be divided almost equally between gable or ridge vents and soffits or eave vents. Screening in vents should be 1/8" x 1/8" hardware cloth, rather than window screening. Any reroofing of the home should include the currently adopted standards.



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## SAFETY ISSUES

### CHIMNEY

[NOTE] Metal ties from the exterior chimney were observed in the attic. This appears to be a retrofit installation. No specific problems were noted. However, it is advisable that verification that all necessary building permits were signed off and the installation was approved by the Local Authority Having Jurisdiction be made.

## GENERAL COMMENTS

### STORAGE

This attic has not been designed for storage. Installation of planks or plywood over wall areas would provide the best overall support for storage. This use of common sense where weight is concerned is also advised.

## EXTERIORS

The inspection of exterior features to be identified and reported would include but not be limited to, wall cladding, veneers, trim, eaves, soffits, and fascias, exterior portions of a representative *sampling* of doors and windows, attached decks, porches, balconies, stairs, columns, walkways, guardrails and handrails.

The *inspector* is not required to *operate* or *evaluate* storm windows, storm doors, screening, shutters, thermal pane window seals awnings, remote-control devices, door operators, or gate operators, *examine* items not visible from a readily accessible walking surface. The inspector is also not required to perform a water test, verify thermal pane window seals, warrant or certify against leakage of all exterior surfaces and components.

**It is our advisement that all *material defects* noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## EXTERIOR INFORMATION

### SITE GRADING

The overall grading of the property was relatively flat.

### DRIVEWAYS

The overall driveway material was concrete

### WALKWAYS

The walkways of the property were concrete

### STEPS/STAIRS

Materials: wood and concrete

### PATIOS

The material of the patio was concrete

### ARBORS/PATIO COVERS

The material construction of the patio cover was wood frame design

### SITE DRAINAGE TYPE

No **subsurface** drainage was noted at this residence. The site drainage should be observed and if pooling of water is noted either on the exterior or the interior of the crawl space (when present), upgrading which may include but not be limited to regrading of the soils or installation of subsurface drainage would be recommended.

### SIDING/CLADDINGS

The exterior of the structure was primarily covered with stucco wall cladding

### VENEERS

Secondary surface coverage was brick veneer.

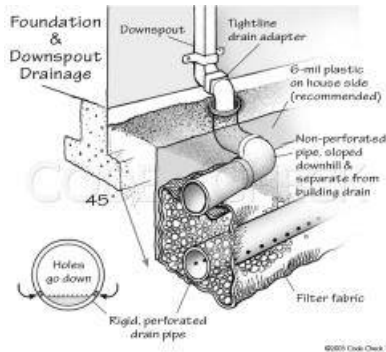
**EXTERIOR CONDITIONS**

**SITE GRADING**

[NOTE] The grading for this property was nearly flat and observation of the property drainage during rain periods would be recommended. Present standards require a minimum of 4 inches clearance between the soil and any installed siding materials and 2 inches between hardscape and installed siding materials. Soil grading should always drain away from the base of the exterior claddings at a rate of 1/4 inch per foot or 2% slope where possible. At this time, no direct concerns were observed.

**Recommendation:** It is recommended maintaining this grading and clearance as much as is practical without creating a negative slope towards the structure when ever changes to the landscaping or hardscapes are made.

**SITE DRAINAGE**



[RU] Current trade standards for construction would dictate that the installation of roof and/or surface drainage system will prevent moisture damage to the structure and/or collection of water in the under building crawl space areas. This home does not currently have such systems.

**Recommendation:** Review of statements made in other portions of the report along with consideration to the installation of a drainage system is our recommendation as part of property improvements. Since installation of drainage systems can have an effect on the structure a detailed study by a drainage specialist should be conducted before any changes are made.

**DRIVEWAY**

There were cracks in the driveway. No immediate action is required but steps to seal all cracks is recommended.

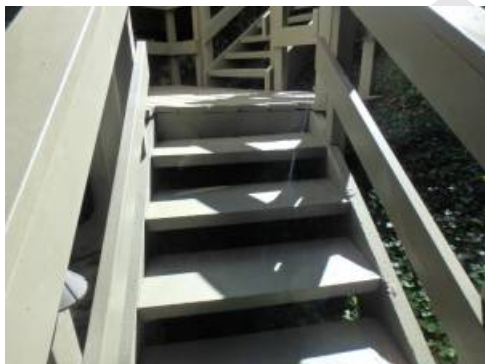
**WALKWAYS**

The walkways are functional.

**EXTERIOR STEPS/STAIRS**

[CR] It was noted that the wooden stairs on the exterior of the structure were open tread/risers with spacing in excess of 4 inches. While this may have been approved at the time of original construction, this is considered a tripping hazard due to the amount of opening between treads.

**Recommendation:** Consideration to upgrading of the steps/stairways to conform with current building standards is recommended.



**GUARDRAILS**

[CR] The guardrails located at the rear deck would no longer be found as conforming by currently accepted residential building standards. This can be for a variety of reasons including but not limited to, spacing of balusters, height of rail or attachment methods.

**Recommendation:** While they may have been approved at the time of original construction, it is recommended that they be upgraded to currently accepted trade/building standards.

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## DECKS

[NOTE] Wood decks have a limited service life. Even the most well-maintained deck will need repair or eventual replacement. We suggest regular treatment with a combination wood preservative/UV inhibiting sealers. As with any wood decking material, periodic inspection for signs of wear or wood destroying pests is recommended. Typical wood decks can last from between 15 to 25 years depending on materials used or maintenance. It should be noted that any deck replacement will require the acquisition of building permits if attached to the home or elevated more that 30 inches above the exterior grade.

[CR] Conditions noted at the decking indicate that this surface material is nearing the end of its intended lifespan.

**Recommendation:** Consideration to replacement is recommended. Framing and support must comply with accepted trade/building standards. Replacement typically requires that a building permit be acquired as well. Standards for replacement requirements can be downloaded at [www.awc.org/codes-standards/publications/dca6](http://www.awc.org/codes-standards/publications/dca6)

## WALL CLADDING, VENEERS, FLASHING, TRIM, EAVES, SOFFITS AND FASCIAS

### STUCCO CLADDING

[NOTE] The stucco siding appeared functional, with signs of aging/wear noted. Patching of cracks as they occur is recommended to prevent moisture damage.

**Crack Standards:** According to accepted trade standards cracks that are wider than 1/16" are considered wide enough to warrant repair. Although even cracks smaller may be considered wide enough to allow the transfer of water into the wall system.

### FINISHES

[FE] The condition of the finishes on the exterior were found to be in need of general maintenance. This includes sanding, sealing and priming the surfaces prior to refinishing.

**Recommendation:** A licensed painting contractor should be retained to refinish the exterior surfaces. This should include caulking and sealing of all openings that can allow moisture entry.

### FLASHINGS

Inspection of flashing installations over areas such as windows, doors or other openings was not possible due to finished systems which conceal them from a complete visual inspections.

**Recommendation:** It is recommended that these areas be routinely inspected for cracking and/or evidence of moisture intrusion and that repairs be made when necessary to prevent moisture intrusion/damage.

### EAVES/SOFFITS

The visible eave and soffit materials appeared functional

### VEGETATION

[NOTE] Pruning of trees, vines and/or bushes should be attended to especially where tree limbs may overhang or come in contact with the roof surfaces. Additionally, planting of trees too close to a homes foundation can cause roots to damage the foundation. If your home has any tree where the drip line of the branches may indicate roots near the foundation, a certified arborist should be retained to determine the best method of maintenance of the trees.

## EXTERIOR EGRESS, DOORS AND WINDOWS

### DOORS

[RU] Door systems currently installed are not considered as weather tight. This may have been approved at the time of original construction.

**Recommendation:** Upgrading of all door systems is recommended. It is our recommendation that after the close of escrow a locksmith be retained to "re-key" all exterior entry doors in the interest of normal homeowner security.

### EGRESS

Bedroom interiors for this residence have provisions for egress in accordance with accepted building standards. Only routine maintenance is recommended.

## OUTSIDE THE SCOPE OF THE INSPECTION

### PEST CONTROL ISSUES

Conditions observed by a home inspector are not a substitute for inspection by a licensed Pest Control Operator or exterminator. Any current visible conditions noted in this report will be reported as wood destroying pests only. By state law, only a licensed Pest Control Operator can offer opinions as to the type of wood destroying pests and recommended treatment of any noted conditions. Our comments therefore should not be considered as a final opinion on these noted conditions and it is strongly recommended that the holder of this report review finding the Pest Control Operators Report for further information.

## ROOF SYSTEM

The items to be identified and reported upon would include but not be limited to, roof coverings flashings, vents, skylights, chimneys and flues, and other penetrations and roof drainage systems.

The *inspector* is not required to, walk on the roof surface if, in the opinion of the inspector, there is a possibility of damage to the surface or would be a hazard to the *inspector*, perform a water test, warrant or certify against roof leakage or predict life expectancy.

**It is our advisement that all material defects noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## ROOF INFORMATION

### INSPECTION METHOD

The inspector walked on the roof and viewed the accessible roofing components.

### ROOF COVERINGS

Materials: dimensional fiberglass composition shingles

### AGE

The age of the roof surface material was estimated to be approximately 12 years old.

### ROOF DRAINAGE

The type of roof drainage was gutters and downspouts exiting next to the structure only.

### COMMENTS

The overall roof surface structure and material was not water tested as part of the Home Inspection. It is not part of a Home Inspection to certify that this roof will be free of leaks. All roof surface materials have an expected life span and this report is not intended to predict the life expectancy of the structure or surface materials. Periodic inspection of the roof and related components is recommended as part of routine property maintenance on all homes.

## ROOF COVERINGS

### COMP. SHINGLES

[NOTE] The visible areas of the roof surface materials are functional but with signs of weathering and aging in the form of granulation erosion at the edges of the tabs. No action is required at this time other than annual inspection and maintenance.

### COMMENTS

All roof surfaces have a finite life expectancy. This can range from 7 years for a tar and gravel roof to 50 plus years for concrete or metal tile roof. However, all surfaces should be annually inspected and repaired/replaced as becomes necessary. It is outside the scope of a routine home inspection to determine the life left in any surface.

Because in most cases the underlayment materials are not readily accessible for visual inspection, we can not verify its proper installation. If any comments are provided above or elsewhere in our report they should be understood to be limited and may be an indication of much more significant problems/concerns which should be further investigated.

Homes that are going to be tented for termites should always be reinspected for possible damage to surface materials and/or plumbing or mechanical vent penetrations caused by the installation of the temporary tenting.

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If any concerns are raised within this or other sections of the report regarding the roof surface, potential leaking or related components they should be repaired or evaluated by a Licensed Roofing Contractor only and prior to the removal of contingencies. If patching/repairs are provided, it should water tested to verify that the repairs have been adequately made.

### FLASHINGS, VENTS, SKYLIGHTS AND OTHER PENETRATIONS

#### FLASHINGS

The visible flashings are functional. Although galvanized, the materials should be kept painted to prevent any deterioration.

#### FLUE PIPES/VENT COVERS

[CR] A number of the PVC plumbing vents were unpainted. All exposed PVC vents penetrations of the roof surface should be painted to prevent deterioration from exposure to sunlight.

**Recommendation:** Painting of all PVC vent materials is recommended.

#### SKYLIGHTS

The visible skylights were functional, with no evidence of leakage at the lense. See the "Interior" section of this report for any additional information that may be provided.

### ROOF DRAINAGE SYSTEMS

#### ROOF DRAINAGE

The visible areas of the roof drainage system are functional. Routine cleaning and testing of the roof drainage system is recommended as part of property maintenance.

#### LEADERS (DOWNSPOUTS)

Downspouts or leaders (current description) are generally installed to carry roof water runoff down and away from the structures foundation area. 2" x 4" materials are the most common. Other methods such as, but not limited to chain or internal wall drains may be used. Of concern is where the water is directed once it is at the grade level of the building.

[CR] The visible downspouts are functional. They are lacking diversion methods to direct the water away from the base of the wall. This can result in adverse conditions to the crawl space, basement or foundation.

**Recommendation:** It is recommended that some form of diversion be placed at the base of each of the downspouts to direct water away from the structure adequately.

### CHIMNEYS, FLUES, DAMPERS AND ASSOCIATED COMPONENTS

#### CHIMNEYS- CONDITIONS

[NOTE] There was a spark arrester and rain cap installed. No attempt to remove the spark arrester was made or is part of the standards of practice currently in forced. It is our recommendation that the current property owner be consulted as to performance of the system and the last time the chimney was cleaned and inspected by a qualified specialist.

**Recommendation:** For full evaluation of the interior of the flue, it is recommended you retain the advice and services of a qualified specialist.

#### FLUES CONDITION

[FE] Some local jurisdictions now require that a chimney and flue inspection and certificate of compliance be issued for all transfers of sales.

**Recommendation:** This can be verified by contacting the local building department for more details on the type of certification that may be required.

## PLUMBING SYSTEM

The *inspector* is required to identify the supply, waste, and vent piping fixtures, faucets, and drains. Additionally the *inspector* is required to report *functional flow* of water supply and *functional drainage* at fixtures, gas piping and connectors or where *cross-connections* may occur to the potable water system. Testing of bathroom, kitchen or other plumbing is performed by *Eagle One Services LLC* for a minimum of 45 seconds in which time in our opinion hot water should be delivered to the appropriate faucets, pressure changes should be discoverable and any backing up of drains typically should be discovered. It should be clearly understood by the reader of this report that given length of time since the inspection or changes in occupancy conditions can and will change. It is recommended that just prior the change of ownership, all faucets and fixtures be operated/tested for any such change.

The *inspector* is **not** required to *operate* any valve other than fixture faucets and hose faucets attached to the building, any system, fixture or *component* which is *shut down* or *disconnected*. The *inspector* is **not** required to *examine* or verify operation or water supply or assistance systems, including, but not limited to: wells, pumps, tanks, site irrigation and related equipment components, verify *functional flow* or pressure at any *fixture* or faucet where the flow end is capped or connected to an *appliance*, or measure pressure, volume, or temperature any sewage disposal *system* or *component* including, but not limited to: septic tanks and/or any underground *system* or portion thereof, or ejector pumps for rain or waste *examine* the overflow device of any fixture, *evaluate* the potability of water, compliance with local or state conservation or energy standards, or proper design or sizing of any water or waste, and venting *components, fixtures*, or piping to identify whether water supply and waste disposal *systems* are public or private or *evaluate* any landscape watering systems nor operate and landscape watering system.

**It is our advisement that all material defects noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

### PLUMBING SYSTEM INFORMATION

#### MAIN WATER LINE

The water service for this residence was provided by the local municipal water supply company. It is beyond the scope to determine if connections to the building comply with all current jurisdictional requirements.

**Recommendation:** The reader is advised to contact their local utility provider for any concerns regarding physical connections or metering devices.

#### WATER PIPING

The visible portions of the interior supply pipe was copper piping

#### WASTE LINES

The visible portions of the waste piping was plastic piping labeled as DWV (drain/waste/vent)

### SUPPLY, WASTE AND VENT PIPING

#### WATER SHUTOFF

Testing of the main water shutoff valves is outside the scope of the inspection and the valve was not tested.

#### INTERIOR WATER PIPING

The visible water supply piping was functional with no reportable conditions noted at this time.

#### FUNCTIONAL FLOW

[NOTE] Water flow and pressure readings may be tested at the home on the day of the inspection and reported upon below. However, the taking of pressure readings should be understood by the reader as beyond the scope of our home inspection and are given as a courtesy for your information. It is very possible that the pressure range will vary depending on the time of day and the amount of usage at the home on that day. Therefore it should be understood that any concerns of pressure delivered to fixtures should be addressed to the water service provider. If it is stated that excessive or less than acceptable water pressure was found at the time of our inspection, you should retain the advice and services of a State Licensed Plumbing Contractor to correct the problems observed. A number of fixtures were operated simultaneously with a functional water flow when tested.



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## DRAIN & WASTE PIPING

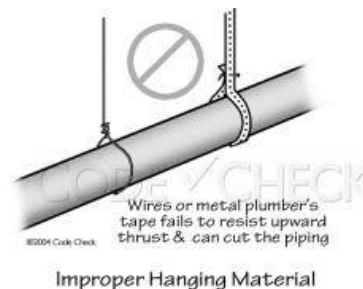
### Definitions

**Drain Pipe:** Any pipe which carries waste or water-borne wastes in a building drainage systems.

**Waste Pipe:** A pipe which conveys only liquid waste free of fecal matter.

[CR] The metal supports used to support the PVC plastic drain lines were installed without a protective shield to prevent damage to the piping during expansion/contraction of the pipe.

**Recommendation:** Either replacement of the brackets with plastic support brackets or the addition of protection at the pipe is recommended. Spacing of the brackets should not exceed 4 feet.



## FUNCTIONAL DRAINAGE

[NOTE] While during testing of the waste pipe system no evidence may have been found that restrictive flow was present, it is our recommendation that the interior of the waste piping be video inspected for breaks and/or plant roots which could create complete blockage of the line. This type of inspection can be performed by most plumbing contractors. This should be performed whether the home is older or recently built.

## COMMENTS

For information concerning the quality of the water in this area, it is recommended that you contact the local municipal water service company or have the well water tested if so provided. Actual testing of water quality is not within the scope of a home inspection.

## FAUCETS/FIXTURES

### EXTERIOR HOSE FAUCETS

The accessible hose faucets were functional, vacuum breakers were installed.

### INTERIOR FAUCETS

The faucets and piping were functional when tested although fixtures are older units that would not be considered as water conservation friendly. At the time of the inspection no leakage was noted but with signs of aging/wear.

### SINKS

The visible and accessible sinks when operated/tested were observed to be functioning as intended with signs of aging/wear.

### TOILETS

The toilets functioned as designed, no leakage was noted with common signs of aging/wear.

### TUBS/SHOWERS

[NOTE] The tub/shower faucets were operated and were functional without leaking at the time of our inspection. It is the opinion of the inspector that this is an older style tub where no perimeter lip would be found. The purpose of the lip is to assist in prevention of water entry to the wall which would lead to damage. No visible damage was present at the time of the inspection.

**Recommendation:** It is recommended that the caulking be well maintained to prevent water damage. If the bathroom is remodeled, consideration to the replacement of the tub that includes a perimeter lip would be recommended.

### SHOWERS

While shower mixing valves will be operated during the inspection, no water test of the shower pan will be performed. This is generally performed as part of routine structural pest inspections. When showers are located above a finished room or area, some pest inspection operators will not test the shower pans for leaks. It is extremely important that the shower wall grout and caulking be maintained as part of routine property maintenance to prevent moisture intrusion into finished areas.

## GAS SERVICES, PIPING AND CONNECTORS

### GAS SHUTOFF

The main supply shutoff appeared functional, we do not operate these devices. There was an emergency shutoff wrench present on the property.

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## GAS PIPING

The visible areas of the gas piping are functional. Pressure testing of the gas supply piping is beyond the scope of a home inspection.

## OUTSIDE THE SCOPE OF THE INSPECTION

### LANDSCAPE SPRINKLERS

[FE] These systems are outside the scope of the inspection and the system overall is not tested. It should be noted that sprinklers should never be directed to spray at the exterior of the home. For planters near the home, subsurface or "bubbler" watering systems should be considered.

**Recommendation:** It is recommended the client consult with a specialist regarding the system's operation and maintenance.

### FIRE SPRINKLERS

[FE] Evidence of a fire suppression system was noted attic area. These systems are outside the scope of the inspection and are not inspected. It is worth noting that notification to the home owners insurance carrier in many cases results in a reduction of H.O insurance costs.

**Recommendation:** Recommend consulting with a qualified specialist regarding the system's operation and maintenance.

## WATER HEATING

The *inspector* is required to report the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and temperature-pressure relief valves. The *inspector* is **not** required to report on components and/or conditions of any solar hot water heating system.

**It is our advisement that all material defects noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## WATER HEATING INFORMATION-OVERALL

### LOCATIONS

The water heater was located in the garage.

### APPROX. AGES

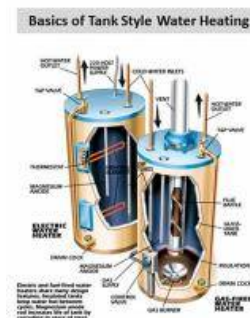
The water heater is estimated to be approximately 5 years old.

### SIZE / GALLONS

50 gallon

### ENERGY TYPES

Natural gas



# The 123 Whatahouse Rd Woodside Ca 94062 Report

Inspected on 03/10/2017

Exclusively Inspected For Kyle Busch

Report # 201703-064

## OVERALL-CONDITIONS

### VENTING SYSTEMS

The visible areas of the vent connector and flue vent piping were intact and secured at the connections.

### SUPPLY PIPING

The shutoff valve and visible water supply connectors are functional and were insulated to minimize heat loss. The water supply and gas supply lines were properly electrically bonded as currently required. Occasionally the clamps should be checked for loose connections as part of routine property maintenance.

### "T & P" VALVES

A temperature & pressure relief valve and discharge line was installed. The discharge line extended to the exterior or other approved location and terminated close to the ground or grade facing downward.

### SEISMIC BRACING

[CR] The water heater was double strapped at the time of the inspection. It was still found not to be stabilized/blocked to resist movement as required by the State Architect at the rear wall.

**Recommendation:** It is recommended that additional steps be taken to prevent any movement of the tank during a seismic event as required.

### COMBUSTION AIR

A combustion air supply for the water heater was found to be adequate. Adequate ventilation for all fuel burning appliances is vital for their safe operation.

### ENERGY SUPPLYS

The gas shutoff valve and flexible gas connector appeared functional.

### COMMENTS

[NOTE] Most manufacturers of water heating system, warranty their units for a specific amount of time. In general terms the average unit will last between 12 and 15 years with routine maintenance. If the unit is approaching or past this age, budgeting for replacement would be recommended. To better understand your water heaters components visit the A.O. Smith website at <http://www.hotwater.com/frame.html?topage=...er.custhelp.com>

[FE] Flushing of the tank at least once a year will prevent the build up of debris at the base of the storage tank. This in turn reduces the energy needed to heat the water and extends the life of the unit.

**Recommendation:** It is recommended that the tank be flushed twice a year.

## ELECTRICAL SYSTEM

Items to be identified and reported are the service conductors, equipment, service capacity, panels and overcurrent protection devices, service and equipment grounding, wiring types and methods. The *inspector* shall identify and/or test a *representative sampling* of switches, receptacles, ground-fault circuit-interrupters and light fixtures.

The *inspector* is **not** required to *operate* electrical systems or components which are *disconnected* or *shut down*, disconnect any energized system or appliance, remove deadfront covers, panels or plates, *operate* overcurrent protection devices, or *evaluate* compatibility of overcurrent protection devices with the panelboard manufacturer, *examine* or test smoke detectors or carbon monoxide alarms, *operate* circuit-interrupter devices. Additionally the inspector is **not** required to examine de-icing equipment, or private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facilities.

**It is our advisement that all *material defects* noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

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## ELECTRICAL SERVICE INFORMATION

### SERVICE TYPE

Overhead.

### SERVICE RATING

The capacity or amperage supplied to the residence is 120/240 volt system, rated at 100 Amperes. The amperage rating is based upon the labeled panel rating.

### INTERIOR BRANCH WIRING

The main branch circuit material for this residence was copper where visible in the main panel. The main wire branch circuit type was a combination of "Romex" or non metallic sheathed cable and flexible/rigid conduit where visible.

### DISCONNECT TYPE

Main and branch circuit wiring was primarily protected by circuit breakers only.

## SERVICE CONDUCTORS, EQUIPMENT AND CAPACITY

### SERVICE WIRING/MAST/METER LOCATIONS

The overhead service wires and weatherhead is functional. If the wires are near or placed within tree branches periodic trimming of the tree limbs will be required. Any trimming should be by a qualified and properly trained professional only.

### CAPACITY

The electrical system capacity in the inspectors opinion is adequate for the structure given the current demands.

## PRIMARY PANELS AND OVERCURRENT PROTECTION DEVICES

### MAIN DISCONNECT

The main disconnect was not operated but no reportable conditions were noted for this device.

### MAIN PANEL

[CR] A number of breakers were not labeled. Current standards require that labels are legible and identify each area accurately.

**Recommendation:** It is recommended they be accurately labeled to allow individual circuits to be shut off for maintenance or emergency needs.

### WORKMANSHIP

[RU] The main electrical service panel is outdated when judged from current residential standards and the age of the installed panel.

**Recommendation:** While at the time of the inspection the panel was functional, upgrading of the panel is recommended. This may be required to obtain home owners insurance or if additional remodeling is done.

## CIRCUIT DISTRIBUTION PANELBOARD INFORMATION

### LOCATIONS

Outlet, lighting and appliance branch circuit distribution panel was located in the garage

### DISCONNECT TYPE

Circuit breakers

## DISTRIBUTION PANEL CONDITIONS

### ELECTRIC PANEL

[NOTE] The circuit breakers/fuses in the panel were labeled, although the accuracy of the labeling was not verified.

**Recommendation:** It is recommended that the labeling be verified.

### WORKMANSHIP

[RU] The branch distribution panel installation would have complied with standards in place at the time of original construction.

**Recommendation:** Given changes in the requirements for electrical supply to various portions of the home, it is our recommendation that consideration be given to upgrading of the panel installation.

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## SERVICE EQUIPMENT AND GROUNDING

### GROUND TYPES

The method of grounding for the electrical service was a grounding electrode system at the main water service valve.

### GROUNDING

[RU] The visible portions of the electrical grounding system for this residence is considered to be minimal by today's standards. When connected to water piping only, the effective ground may be interrupted by plastic components on the system.

**Recommendation:** A driven rod grounding service is recommended as an upgrade and will be required if this panel or other electrical upgrading is undertaken. A qualified/licensed electrician should be retained.

## WIRING TYPES AND METHODS

### BRANCH WIRING

[RU] While the branch wiring may have met the standards in place at the time of original construction and portions have been upgraded, wiring within the walls can not be confirmed as also upgraded. It was not verified that all currently required circuits are installed which also may be outdated by current standards. This typically would be primarily but not limited to the kitchen and laundry areas.

**Recommendation:** While not required for transfer of sale, It is recommended that you retain the advice and services of a licensed electrical contractor to determine what would be necessary to upgrade any portions of the wiring overall to conform with currently accepted residential standards.

## SWITCHES, RECEPTACLES AND LIGHT FIXTURES

### DOOR BELL

The door bell functioned when the button was operated

### SWITCHES-OVERALL

The accessible interior switches were functional.

### INTERIOR RECEPTACLES

[CR] Receptacles were tested using simple hand held testing devices. When receptacles are replaced, most jurisdictions require that they meet with current building standards. This would include "Tamper Resistant" type. This type is designed to reduce the potential shock hazards as a result of improper use. Latest building standard to be adopted will be Arc-Fault protection where installed in family, dining, living, bedroom, sunroom, closets or other similar areas of the home. The receptacles replaced are not marked with the Tamper Resistant symbol. The symbol is embossed on the face of the device at the factory.

**Recommendation:** A licensed electrician should be retained to evaluate and make the appropriate corrections. Your local building department should be contacted for information on local requirements. Additionally review of any comments regarding grounding elsewhere in this report would be recommended.

### EXTERIOR RECEPTACLES

[RU] Receptacle installation overall for the exterior of the home was minimal and does not conform with current building standards for location or type.

**Recommendation:** Consideration to upgrading to current building standards should be considered as a part of routine property improvements.

### LIGHTS/FIXTURES

While the inspector tests lighting installed on the interior of the home, exterior lighting installation can not always be verified. This sometimes this is due to lighting installed on timers or can be lighting installed in areas of the exterior not considered part of a routine home inspection. The exterior lighting should be verified as operational as part of a walk through with the seller. This can be verified in early evening when lighting would be visible.

As to interior lighting and their bulbs. As with any lighting system, bulbs can burn out between the time the inspection was provided and close of escrow. It is recommended that you do a thorough walk through that includes operation of all lighting and should a fixture not respond, the bulb should be replaced or the fixture evaluated by a licensed electrician to determine the cause and repair that will be needed to restore the light fixture.

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[RU] The visible fixtures overall located on either the exterior or interior of the home would no longer be considered energy efficient. This can be due to type of bulbs, housings or locations.

**Recommendation:** Consideration to the replacement of the fixtures and sealing to the wall or ceiling surfaces in currently approved methods is recommended.

### ARC-FAULT & GROUND-FAULT CIRCUIT-INTERRUPTERS

#### AFCI DEVICES

[RU] Arc Fault protection currently required for all outlets serving the bedroom areas was not currently installed nor was it required at the time of original construction.

**Recommendation:** As part of routine property improvements, installation should be considered.

**Standard:** AFCI or Arc Fault Circuit Interrupter is a device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected. These devices are currently required to protect all 15 & 20 amp outlets installed in dwelling unit bedrooms and have been required in most jurisdictions since 1999 for new construction or when bedroom circuits have been added or upgraded.

**Definition:** The definition of an outlet is any point on the wiring system upon which current is taken to power utilization equipment. The luminaires (lighting devices) and receptacles attached/installed in the bedrooms is just such a point. The closet is to be included as part of the bedroom area and requirement of protection.

#### GFCI DEVICES

[NOTE] GFCI (ground fault circuit interrupter) protection is a modern safety feature designed to help prevent shock hazards. GFCI breakers and receptacles function to de-energize a circuit or a portion of a circuit when a hazardous condition exists. GFCI protection is inexpensive and can provide a substantially increased margin of safety.

[RU] Only some of the currently required areas for GFCI (Ground Fault Circuit Interrupter) protection were installed.

**Recommendation:** Upgrading is recommended by installation of GFCI receptacles in all currently required locations. These may include but not be limited to, all countertop receptacles in the kitchen area, receptacles near sink basins, in bathrooms, garages, basements, crawl spaces, and on the exterior. While many of the currently required locations do have this type of protection, where it is not present, installation is recommended. The local building department can be contacted for further information on the current residential standards.

### OUTSIDE THE SCOPE OF THE INSPECTION

#### LOW VOLTAGE

Review of all low voltage wiring including telephone, TV antenna, alarm, intercom, stereo or other low voltage wiring systems is not within the scope of a home inspection. If these systems exist, it is recommended that the client retain the advice and services of a qualified service technician who is familiar with that type of system and its requirements.

#### ALARM SYSTEM

[FE] Inspection of security alarm systems would be outside the scope of the inspection and are not inspected.

**Recommendation:** We recommend consulting with a specialist regarding the system's operation and maintenance.

### GENERAL OVERALL COMMENTS

#### COMMENTS

[FE] The visible portions of the electrical system was in acceptable condition for the age of the home with some exceptions noted above that should be either considered for upgrades or corrected.

**Recommendation:** For further evaluation, upgrading and/or repair of all of the noted conditions it is recommended you retain the advice and services of a State Licensed Electrical Contractor. The repairing contractor should be requested to provide details on the invoice as to the work performed and it's implied warranty.



## HEATING SYSTEM

Items to be identified and reported heating equipment, venting and combustion systems, energy source and connections, heating distribution system(s) including a *representative sampling* of ducting, duct insulation, outlets, radiators, piping systems and valves, condensate drains. Where applicable, the following systems/components were visually/functionally examined and determined to be functional unless stated otherwise: *venting system, supply air plenum, heating unit, combustion/ventilating air, energy supply/connections, burners, blower, filter, thermostat, ducting system, and registers/grills*. Those components determined to have material defects are itemized below. If conditions are noted, it is recommended that you retain the advice and services of a licensed and qualified heating contractor to make any necessary corrections.

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

### HEATING SYSTEM INFORMATION-OVERALL

#### LOCATIONS

The heating plant/unit was located in the garage area

#### APPROX. AGES

The heating plants age is estimated to be approximately 5 years old.

#### TYPE & FUEL

The heating for this residence is a high efficiency forced air natural gas-fired system. Forced air systems can be either powered by natural/propane gas or electricity which operates by heating a stream of air moved by a blower through a system of ducts within the home. Important elements of the system include the heat exchanger, exhaust venting, blower, controls, air filters and ducting.

#### FILTER TYPE

Electronic

### HEATING SYSTEM CONDITIONS-OVERALL

#### MAINTENANCE

[NOTE] This is a newer unit and routine servicing of the system is recommended. It generally is a good idea to service the unit the first season you occupy the home.

#### VENTING SYSTEMS

The visible areas of the flue vent piping were intact and secured at the connections

#### CONDENSATE DISPOSAL

The condensate disposal was functional at the time of the inspection.

#### DUCT TYPES

Metal ducts covered with fiberglass insulation

#### DUCT CONDITIONS

The visible areas of the conditioned air ducts were functional and installed in accordance with standards at the time of original construction.

#### VENTS & GRILLS

[CR] With removal of a number of the floor registers, it was noted that the duct boot was not sealed around the connection to the floor. This is considered a possible heating/cooling air leak.

**Recommendation:** Steps to properly seal this gaps is recommended along with the addition of insulation on the exterior of the boot.

#### COMBUSTION AIR

Combustion air provides oxygen for fuel-burning appliances. Adequate ventilation around all fuel-burning appliances is vital for their safe operation. The combustion air supply for the furnace appeared adequate.

#### ENERGY SUPPLY

The gas shutoff valve and flexible gas connector is functional

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## BURNERS

The burner/flames responded in a typical manner for this type of unit.

## HEAT EXCHANGERS

[NOTE] The heat exchanger was not visible to inspect without dismantling the unit, which is beyond the standard of care and the scope of this inspection. Inspections should be provided during normal servicing of the unit.

## BLOWER / FILTERS

[NOTE] Testing of the electronic filter is beyond the scope of our inspection and the owner should be asked furnish all manuals and demonstrate the operation of the unit.

## THERMOSTATS

The thermostat was operated and the system responded

## COMMENTS

In general most heating plants are anticipated to last between 20 & 25 years. It is not within the scope of the inspection to predict the lifespan of the equipment and our comments are for general information only. It should be noted that all work that is recommended in this portion of the report should be provided by a licensed HVAC contractor.

## AIR CONDITIONING SYSTEM

Items to be identified and reported cooling equipment, energy source and connections, distribution system(s) including a *representative sampling* of ducting, duct insulation, outlets, radiators, piping systems and valves condensate drains.

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[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## AIR CONDITIONING SYSTEM INFORMATION

### LOCATIONS

[NOTE] This residence is prewired for air conditioning systems to be installed if desired. At the time of the inspection, no units were installed.

## INSULATION & ENERGY

## INSULATION

### ATTIC INSULATION

Insulation placed above the living spaces in this dwelling was noted. It is beyond the scope to evaluate the overall performance of insulation. This can be further evaluated for performance by a building performance specialist.

### WALL INSULATION

We were unable to access the wall cavities and/or determine the presence or condition of wall insulation.

### UNDER FLOOR INSULATION

[CR] The insulation was installed in the under-floor area upside down, with vapor barrier exposed. This can trap moisture and cause damage to the wood framing.

**Recommendation:** It is recommended the condition noted be corrected.

## OVERALL ENERGY SAVING

### WINDOWS AND DOORS

All window and door glazing were found to be dual pane insulated.

### PLUMBING

[NOTE] As of January 1, 2017 when selling a home, the seller must either verify that all fixtures comply with the current standards for flow rate or disclose which are non-compliant. It is beyond the scope of the inspection standards to report upon flow rates. Fixtures replaced after 1994 may have complied prior to these latest standards but are now non-compliant

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as well. The following is a recap of current standards. If fixtures, shower heads or toilets are reported within this report, it would be based on a labeled rating such as is typically stamped on water closets/toilets.

All water closets (toilets) must be rated at 1.28 gallons per minute or GPM

All shower heads, including hand held spray types, must be rated at 2.0 GPM

All lavatory sink faucets must be rated at 1.2 GPM

All kitchen sink faucets must be rated at 1.8 GPM

**Recommendation:** If you are unsure as to a fixtures flow rate, it is recommended you contact a licensed plumbing contractor to assist in discovery.

### OVERALL CONDITION

#### GENERAL RATING

Below are some of the known websites that may be of some assistance in gaining more knowledge on the energy requirements or programs to improve the energy use for a home.

The California Energy Commission is required by Public Resources Code Section 25942 to establish regulations for a Home Energy Rating System (HERS) Program to certify home energy rating services in California. Other independent services such as those provided through the Building Performance Institute or BPI Inc can assist in finding ways to improve your homes energy use. [www.BPI.org](http://www.BPI.org)

Under the California Business and Professions Code 7195 (a)(2) "Home Inspection" if requested by the client, may include an inspection of energy efficiency.

#### UTILITY BILL, REBATES AND OTHER ASSISTANCE

Online Consumer and Business Conservation Rebate Database: [www.consumerenergycenter.org](http://www.consumerenergycenter.org)

California Department of Consumer Affairs: [www.dca.ca.gov/energy-challenge.htm](http://www.dca.ca.gov/energy-challenge.htm)

California Energy Commission, 1-800-772-3300 or [www.consumerenergycenter.org](http://www.consumerenergycenter.org)

For information on utility bill assistance programs. California Public Utilities Commission Consumer Affairs Branch, 1-800-649-7570 or [www.cpuc.ca.gov](http://www.cpuc.ca.gov) for information on baseline and other optional rates and bill assistance programs.

#### HELP FOR LOW INCOME RESIDENTS

California Department of Community Services and Development, 1-800-433-4327 or [www.csd.ca.gov/liheap.htm](http://www.csd.ca.gov/liheap.htm) for Low Income Home Energy Assistance Program. California Energy Alternative Rates (CARE): Call your local utility company for information and applications.

#### SENIORS AND SPECIAL NEEDS

Medical Baseline Emergencies: People of all ages and income levels on life-support or with certain medical conditions where a loss of electricity could be a threat to their lives should contact their electric company to apply for the Medical Baseline program or call Flex Your Power at 1-866-968-7797 for a referral. The program provides a variety of benefits, including a larger allotment of low-cost baseline electricity and advance notification of rotating power outages. A flier, Consumer Tips for Energy Emergencies, with information for seniors and people with special medical conditions, who are especially vulnerable to heat, electricity outages and higher electric bills is available at [www.dca.ca.gov/energy\\_emergency\\_tips.pdf](http://www.dca.ca.gov/energy_emergency_tips.pdf)

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## INTERIOR ROOMS

The *inspector* is required to identify by visual examination, the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies, and railings. The *inspector* is **not** required to operate/test smoke or carbon monoxide detectors, alarm systems, fire sprinkler/suppression systems. In some cases, there may not exist, any reportable conditions for a room or series of rooms. Therefore, in this report you will find comments regarding areas such as bathrooms or bedrooms, mainly under the heading "Overall". Those comments should be considered as statement of the conditions of all rooms of that type. If reportable conditions do exist, then those areas will be clearly identified to indicate the room in which they are located.

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### INTERIOR OVERALL

#### DESCRIPTION

In some cases, there may not exist, any reportable conditions for a room or series of rooms. Therefore, in this report you will find comments regarding areas such as bathrooms, mainly under the heading "Overall". Those comments should be considered as statements of the conditions noted in all rooms of that type. If reportable conditions do exist, then those areas will be clearly identified to indicate the location/room in which they were observed. The number of bedrooms reported in this report is 3. The number of bath or powder rooms reported on in this residence is 3. The wall surfaces were drywall or sheet rock only. The glazing of the windows in this residence were in the habitable portions of the home dual pane type

#### FLOORS OVERALL

The overall condition of the floor was in acceptable condition. No attempt was made to determine if floors were level overall. However no conditions were observed that would suggest the need for further evaluation.

#### WALLS/CEILINGS

[NOTE] As with any freshly painted surface, there may be conditions that are not apparent. Our inspection of the surfaces is limited to conditions observed and we do not intend to suggest that hidden conditions exist.

#### INTERIOR DOORS

The doors were functional at the time of the inspection. Periodic lubrication of hinges and/or adjustments to hardware should be expected.

#### HEAT & COOL

The heating system supplies heat to all major habitable areas of the home.

#### SMOKE ALARMS



Non Photo Electric

[NOTE] A smoke alarm/detection device was present where currently required. To examine or test smoke alarm/detectors for function is outside the scope of the inspection. It is recommended that once the home is occupied that the smoke alarm/detectors be tested by the client and all batteries (if so designed) be replaced. Any alarm/detector battery should be replaced at least twice a year. It is most convenient at the same time as the daylight savings time changes. Additionally, studies have shown that of the two different types of devices on the market, one type uses a photo electric sensor and the other uses an ionization method. The photoelectric device is by far the more reliable for the early detection of smoke or smoldering fires. Some jurisdictions no longer approve the ionization type. Your local building department should be contacted for further information.

**Recommendation:** It is recommended that all units that use batteries, have the batteries replaced upon move-in and that at least one of the devices be a photo electric unit.

#### GENERAL COMMENTS ON SMOKE ALARMS

Smoke alarms should always be tested and maintained in accordance with the manufacturer's instructions. Smoke alarms that no longer function should be replaced. Smoke alarms installed in one and two-family dwellings should be replaced after 10 years from the date of manufacture marked on the unit, or if the date of manufacture cannot be determined.

Conventional *ionization* smoke alarms that are solely battery powered are currently required to be equipped with a ten-year

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battery and have silence feature.

Dead air or locations where air circulation is poor, may prevent smoke form reaching the Smoke Alarm. To avoid dead air spaces, follow the installation recommendations below:

**On ceilings**, install the Smoke Alarms as close to the center of the ceiling as possible. If this is not possible, install the Smoke Alarm at least 4 inches from the wall or corner.

**For wall mounting**, and if allowed by local building codes, the top edge of the Smoke Alarm should be placed between 4 and 12 inches from the wall/ceiling line, below typical "dead air" spaces.

**On a peaked, gabled or cathedral ceiling**, install the first Smoke Alarm with 3 feet of the peak of the ceiling, measured horizontally. Additional Smoke Alarms may be required depending on the length, angle, etc. of the ceiling's slope. Refer to NFPA 72 for details on requirements for sloped or peaked ceilings for more details.

### CO ALARMS

Carbon monoxide detectors were located in the areas nearest the sleeping areas . Actual testing of the detectors is beyond the scope of a home inspection.

### STAIRWELLS

The stairs were functional and installed in accordance with standards in place at the time of original construction.

### GUARDRAILS

[CR] The guard rail(s) appeared functional and may have met the building standards at the time of construction, however the wide spaces between the balusters are a hazard for small children. Modern construction guidelines typically state that a "4 inch sphere" should not pass between the balusters.

**Recommendation:** While upgrading may not be required, additional measures for child safety like netting or some other means is strongly recommended.

## FIREPLACES, WOOD STOVES OR GAS-BURNING APPLIANCES

### LOCATIONS

Locations: living room

### UNIT TYPES

Materials: masonry interior

## FIREBOXES, HEARTH EXTENSIONS AND ACCESSORY COMPONENTS

### FIREBOXES

[NOTE] The fireplace and visible areas of the flue appeared functional with common signs of aging and wear. Routine maintenance of the firebox, chimney and related components is recommended to keep the system operational and safe.

### FLUES

[FE] The flue is inaccessible for inspection without special equipment. Removal of the spark arrestor at the top of the chimney can provide better access for inspection. Some jurisdictions require a detailed chimney inspection prior to the close of sale.

**Recommendation:** Interior inspection of the flue is recommended. See any additional comments that may be in the "Attic" and "Roof" sections of the report.

## GARAGE

### GARAGE INFORMATION

#### TYPE & LOCATION

Garage; attached two car

#### VENTILATION

Vent types: exterior wall vents

#### VEHICLE DOORS

Door types: One roll up

#### INTERIOR CEILING/WALLS

Materials: sheetrock

#### INTERIOR FLOORS

Materials: concrete

### GARAGE CONDITIONS

#### VENTILATION

The vents appeared functional. It is important that the vents be unrestricted to function as intended. Placement of stored items or the installation of covers is not recommended.

#### FRAMING

Because of finished surfaces, the framing was not visible for inspection.

#### GARAGE FLOORS

The visible areas of the garage floor are functional with no concerns raised at this time.

#### FIRE WALLS

The visible areas of the garage fire rated wall/ceiling are functional.

#### FIRE DOORS

[SC] The door between the living spaces and garage was not labeled as of a fire-rated type. The present standards call for the door between the garage and living spaces to be a fire-rated door and be self-closing & latching in accordance with NFPA 80 Standards for the application.

**Recommendation:** It is recommended the condition noted be corrected.

#### VEHICLE DOORS

[CR] The garage door tension springs were tested and noted that they do not hold the door at approximately the half way open point as is required. This is generally an indication of needed adjustment to the tension. The purpose of the springs is to prevent the door from slamming shut if manually operated.

**Recommendation:** Because these springs are preloaded, it is recommended the condition noted be corrected only by a licensed/qualified service contractor.

#### VEHICLE DOOR OPENERS

The automatic garage door opener was/were operational and the automatic reversing system, which included a pressure and safety eye beam functioned when the door either came in contact with an object placed in its path or the light beam path was obstructed.

#### RECEPTACLES

[RU] The accessible receptacles were functional but were not GFCI protected.

**Recommendation:** It is recommended the reader consider upgrading to GFCI protection at all currently required locations. The local building department should be contacted for further information on current standards. All work should be done by a licensed electrician.



## LAUNDRY ROOM

### LAUNDRY INFORMATION

#### LOCATION

The laundry facilities and equipment were located in an interior laundry room area.

#### DRYER SERVICE

The dryer hookup was provided for a gas unit only.

### LAUNDRY CONDITIONS

#### WASHER MACHINE HOOKUPS

The laundry hookups were functional, no visible leaks, a machine was connected. We do not operate the machines or the faucets.

#### DRYER VENTS

Dryer venting was provided and terminated at the exterior. Cleaning of the dryer vent or the lack of can lead to poor performance of the dryer and if left unattended has been known to be the cause of fires. Cleaning of the lint screen after every load is recommended and the vent should be cleaned annually.

Devices are currently available to monitor the dryer vent for restrictions. Although Eagle One Services LLC does not endorse any one product research has discovered that a device called "Lint Alert" can be bought through their website, [www.lintalert.com](http://www.lintalert.com).

## KITCHEN/APPLIANCES

The visible areas of the sinks, faucets, or other visible plumbing fixtures, walls, ceilings, floors, cabinets, and counters were examined to determine their current condition. Areas concealed from view by any means are excluded from this report. The accessible doors, windows, lights, receptacles, conditioned air vents, and permanently installed components or equipment are checked for basic operation. Self or continuous cleaning functions, timing devices, and thermostat accuracy are beyond the scope of the inspection and any testing that may be provided is for function of safety devices associated with the equipment only. The client is advised to acquire, read and follow the manufactures operational manuals. Should there be **any** concern for general function that should be further evaluated by a qualified appliance service and repair technician. Where applicable, the following systems/components were visually/functionally examined and determined to be functional unless stated otherwise. Those systems/components determined to have a material/safety defect and/or are not functioning as designed are discussed below.

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### OVERALL - KITCHEN CONDITIONS

#### APPLIANCES OVERALL

Only cooktop appliances will be tested for basic function. Appliances such as, but not limited, to ovens, dishwashers, portable microwave units and refrigerators are not tested as part of a routine property inspection. Any comments that may be stated below are to report safety concerns that were noted as a part of a visual observation only. Any additional concerns for the function of any appliance should be evaluated by a qualified appliance technician. It also is recommended that you obtain and review any/all manufacturers manuals. All installed appliances were tested and found to respond to controls as designed with the exceptions noted below. All installed appliances were tested and found to respond to controls as designed with the exceptions noted below.

Type: The cook top fuel or power type was gas.

# The 123 Whatahouse Rd Woodside Ca 94062 Report

Inspected on 03/10/2017

Exclusively Inspected For Kyle Busch

Report # 201703-064

## RECEPTACLES

[NOTE] The accessible receptacles were functional and GFCI protected. The inspector does not determine if adequate circuits have been a part of the home improvement in this area. Current standards may require that additional circuits exist since the remodeling of the home. It is beyond the scope to verify requirements that may have existed at the time of the improvements to the kitchen. This can be further discussed with a licensed electrician if there are concerns or additional needs.

## VENTILATION

Ventilation for the kitchen is provided by an updraft or ceiling fan system. Routine cleaning of the filter and fan system is recommended.

## CABINETS

The cabinet and counter areas were functional at the time of the inspection.

## DISHWASHERS

There was an air gap device present at the sink, no leakage noted.

## BATHS

Where applicable, the following systems/components were visually/functionally examined and determined to be functional unless stated otherwise: walls, floors, doors, windows, heating/cooling, lights, receptacles, vents, cabinets, sinks, toilets, tubs, showers, enclosures. Those components which were tested and/or otherwise inspected or may be determined to have material defects are itemized below.

**It is our advisement that all material defects noted below be fully evaluated and/or corrected by specialists in the appropriate trade using currently approved methods and in accordance with statements made in the introductory portions of this report.**

[SC] Safety Concerns [CR] Corrections Recommended [RU] Recommended Upgrade [FE] Further Evaluation

## OVERALL - CONDITIONS

### ENCLOSURES

The enclosures were functional with the exceptions noted below, with safety glass markings or were made of impact resistant plastic/acrylic.

### RECEPTACLES/SWITCHES/WIRING

The accessible receptacles were functional and GFCI protected where required.

### VENTILATION

[CR] The bath exhaust vent is in need of cleaning in all baths.

**Recommendation:** Removal of the covers and a through cleaning is recommended.

### CABINETS

Maintaining of caulking around areas such as faucets, sinks and backsplash areas is strongly recommended to prevent moisture damage to the areas below.

### MIRRORS

These units are outside the scope of the inspection and were not inspected.

### COMMENTS

[NOTE] All faucet, faucet bases, shower walls, tub/shower wall connections and toilet bases should be properly sealed to wall or floor in accordance with accepted trade practice. This will assure that moisture does not penetrate to the interiors of the adjoining walls.

## MASTER - CONDITIONS

### ENCLOSURES

The enclosure was functional, with safety glass markings or were made of impact resistant plastic/acrylic.

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### RIGHT - CONDITIONS

#### ENCLOSURES

[RU] There was a shower curtain present. Extra care should be exercised to prevent moisture related damage to adjoining surfaces or areas.

**Recommendation:** Upgrading to a safety tempered glass enclosure is recommended.

### HALL - CONDITIONS

#### ENCLOSURES

The enclosure was functional, with safety glass markings or were made of impact resistant plastic/acrylic.

## CONCLUSION

### CONCLUDING INFORMATION AND RESOURCES

#### GENERAL COMMENTS

[NOTE] Please keep in mind that due to the age of this dwelling there will undoubtedly be features and systems that do not conform to present-day building standards. While an attempt to point out the areas pertaining to health and safety issues, as well as structural issues that may need correction is made, we do not warrant that all non-conforming conditions are reported.

The reader of this report should be aware that an older dwelling such as this will require upgrading and repair as all dwellings do. If you intend to remodel or make significant changes to areas or components then building permits may or will be required. This process will undoubtedly entail improving various portions of the structure or systems to bring it up to current building standards. You are advised that as you consider any alteration or repair you discuss with the local building department what if any permits are required along with working only with licensed professionals.

#### GENERAL RESOURCES

Below you will find some websites that may be of further help in understanding findings within this report or when in the future you are considering remodeling. As with any website the content can and will change over long periods of time. We are not endorsing any of these sites but rather providing you some guidance.

The Building Education Center located at 812 Page Street in Berkeley California offers classes on a wide variety of topics. [www.bldgeductr.org](http://www.bldgeductr.org)

To research contractors that you may consider for repairs the following website should be visited. [www.cslb.ca.gov](http://www.cslb.ca.gov)

Have questions on what to do in preparation of possible earthquakes. Lots of information can be found at [www.shakeout.org](http://www.shakeout.org)

For books you can't go wrong with builders booksource in Berkeley California. [www.buildersbooksource.com](http://www.buildersbooksource.com)

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## Insurance Disclosure Information

This information is provided by *Eagle One Services LLC* for informational purposes only for the home located at 123 Whatahouse Rd in Woodside, California and not intended to be used as the disclosure form requested by your insurance carrier. Your real estate professional should provide you with a booklet entitled "The Homeowners Guide to Earthquake Safety" regarding any/all seismic concerns. Below are ten key questions that we are commonly asked about regarding the acquisition of homeowners insurance. Other questions may exist on insurance questionnaires and it is not intended for this form to address every possible question or scenario.

Should you have any concern regarding the details of the information, you are advised to retain the advice and services of a structural engineer familiar with the current building requirements or other appropriate specialist.

1. Is the water heater braced, strapped or anchored to resist movement during earthquake conditions?

**Yes**

2. Is the home anchored or bolted to the foundation?

**Yes**

3. If the home has cripple walls; are the exterior walls braced?

**Does Not apply**

4. If concrete piers and posts are installed, have they been strengthened?

**No**

5. If the home is located on a hillside, are the exterior tall walls braced?

**Does Not apply**

6. If the answer is yes above, have the tall posts or columns been built to resist earthquakes or have they been strengthened?

**Does Not apply**

7. If portions of the living area are located above the garage, are the walls around the garage door opening strengthened to resist earthquake action?

**Does Not apply**

8. Does this home have *primarily* fuses or circuit breaker protection?

**Circuit Breakers**

9. If this home has knob and tube wiring, what percentage is functional.

**Does Not apply**

10. Does this home have primarily copper, PEX or galvanized plumbing supply line?

**Copper**

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## Review ONLY

This section was prepared for the client listed above, is delivered with the electronic PDF document **only** and **does not** constitute a , nor is it intended to be a home inspection report as defined under the California Business and Professions Code §7195-7199, and may not list all of the conditions noted during the inspection nor should anyone rely solely on this portion of the document. Printing of this portion of the document for any reason is done by you with the understanding that this document **is not** to be relied upon as a completed report. The reader is directed to **Read The Entire Inspection Report** as stated in the signed inspection agreement of which is between the clients named above and Eagle One Services LLC. All other interested parties are hereby advised to set up a walk through with Eagle One Services LLC for further clarification.

The items listed below have been coded for ease of review. It should be understood that only items of either safety concern or needed repair are listed in this portion of the document. When headings are identified in **Bold and Blue or Red** these are items that are typically required to be addressed in the Sales Contract. Your Realtor® can advise you on what may be needed. Other items that either need to be periodically reviewed or upgraded are not included in this section. **We recommend that all material defects noted below or within the body of the report be fully evaluated and/or corrected by a qualified specialist in the appropriate trade using currently approved methods, prior to the removal of contingencies or transfer of ownership.**

[SC] Safety Concerns [CR] Corrections Recommended

### INSPECTION INFORMATION

#### GENERAL ENVIRONMENTAL INFORMATION

##### ASBESTOS

[CR] It was noted in the attic area that materials that may contain asbestos have been abandoned.

**Recommendation:** Removal of the materials by a qualified contractor is recommended.

### STRUCTURAL COMPONENTS

#### FOUNDATION AND SUPPORT COMPONENTS

##### FOUNDATION CONDITIONS

[CR] The concrete foundation had evidence of moderate cracking or cracks that were wider than 1/8 of an inch. This may be due to settlement/movement of the supporting soils at a number of locations.

**Recommendation:** While it would be expected that an older home such as this would have some cracking present, it is recommend the noted conditions be further evaluated and corrected by a specialist in the appropriate trade such as but not limited to a geotechnical/structural engineer.

### EXTERIORS

#### EXTERIOR CONDITIONS

##### EXTERIOR STEPS/STAIRS

[CR] It was noted that the wooden stairs on the exterior of the structure were open tread/risers with spacing in excess of 4 inches. While this may have been approved at the time of original construction, this is considered a tripping hazard due to the amount of opening between treads.

**Recommendation:** Consideration to upgrading of the steps/stairways to conform with current building standards is recommended.

##### GUARDRAILS

[CR] The guardrails located at the rear deck would no longer be found as conforming by currently accepted residential building standards. This can be for a variety of reasons including but not limited to, spacing of balusters, height of rail or attachment methods.

**Recommendation:** While they may have been approved at the time of original construction, it is recommended that they be upgraded to currently accepted trade/building standards.

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## DECKS

[CR] Conditions noted at the decking indicate that this surface material is nearing the end of its intended lifespan.

**Recommendation:** Consideration to replacement is recommended. Framing and support must comply with accepted trade/building standards.

## ROOF SYSTEM

### FLASHINGS, VENTS, SKYLIGHTS AND OTHER PENETRATIONS

#### FLUE PIPES/VENT COVERS

[CR] A number of the PVC plumbing vents were unpainted. All exposed PVC vents penetrations of the roof surface should be painted to prevent deterioration from exposure to sunlight.

**Recommendation:** Painting of all PVC vent materials is recommended.

### ROOF DRAINAGE SYSTEMS

#### LEADERS (DOWNSPOUTS)

[CR] The visible downspouts are functional. They are lacking diversion methods to direct the water away from the base of the wall. This can result in adverse conditions to the crawl space, basement or foundation.

**Recommendation:** It is recommended that some form of diversion be placed at the base of each of the downspouts to direct water away from the structure adequately.

## PLUMBING SYSTEM

### SUPPLY, WASTE AND VENT PIPING

#### DRAIN & WASTE PIPING

[CR] The metal supports used to support the PVC plastic drain lines were installed without a protective shield to prevent damage to the piping during expansion/contraction of the pipe.

**Recommendation:** Either replacement of the brackets with plastic support brackets or the addition of protection at the pipe is recommended. Spacing of the brackets should not exceed 4 feet.

## WATER HEATING

### OVERALL-CONDITIONS

#### SEISMIC BRACING

[CR] The water heater was double strapped at the time of the inspection. It was still found not to be stabilized/blocked to resist movement as required by the State Architect at the rear wall.

**Recommendation:** It is recommended that additional steps be taken to prevent any movement of the tank during a seismic event as required.

## ELECTRICAL SYSTEM

### PRIMARY PANELS AND OVERCURRENT PROTECTION DEVICES

#### MAIN PANEL

[CR] A number of breakers were not labeled. Current standards require that labels are legible and identify each area accurately.

**Recommendation:** It is recommended they be accurately labeled to allow individual circuits to be shut off for maintenance or emergency needs.

### SWITCHES, RECEPTACLES AND LIGHT FIXTURES

#### INTERIOR RECEPTACLES

[CR] Receptacles were tested using simple hand held testing devices. When receptacles are replaced, most jurisdictions require that they meet with current building standards. This would include "Tamper Resistant" type. This type is designed to reduce the potential shock hazards as a result of improper use. Latest building standard to be adopted will be Arc-Fault protection where installed in family, dining, living, bedroom, sunroom, closets or other similar areas of the home. The receptacles replaced are not marked with the Tamper Resistant symbol. The symbol is embossed on the face of the device at the factory.



**Recommendation:** A licensed electrician should be retained to evaluate and make the appropriate corrections. Your local building department should be contacted for information on local requirements. Additionally review of any comments regarding grounding elsewhere in this report would be recommended.

## HEATING SYSTEM

### HEATING SYSTEM CONDITIONS-OVERALL

#### *VENTS & GRILLS*

[CR] With removal of a number of the floor registers, it was noted that the duct boot was not sealed around the connection to the floor. This is considered a possible heating/cooling air leak.

**Recommendation:** Steps to properly seal this gaps is recommended along with the addition of insulation on the exterior of the boot.

## INSULATION & ENERGY

### INSULATION

#### *UNDER FLOOR INSULATION*

[CR] The insulation was installed in the under-floor area upside down, with vapor barrier exposed. This can trap moisture and cause damage to the wood framing.

**Recommendation:** It is recommended the condition noted be corrected.

## INTERIOR ROOMS

### INTERIOR OVERALL

#### *GUARDRAILS*

[CR] The guard rail(s) appeared functional and may have met the building standards at the time of construction, however the wide spaces between the balusters are a hazard for small children. Modern construction guidelines typically state that a "4 inch sphere" should not pass between the balusters.

**Recommendation:** While upgrading may not be required, additional measures for child safety like netting or some other means is strongly recommended.

## GARAGE

### GARAGE CONDITIONS

#### *FIRE DOORS*

[SC] The door between the living spaces and garage was not labeled as of a fire-rated type. The present standards call for the door between the garage and living spaces to be a fire-rated door and be self-closing & latching in accordance with NFPA 80 Standards for the application.

**Recommendation:** It is recommended the condition noted be corrected.

#### *VEHICLE DOORS*

[CR] The garage door tension springs were tested and noted that they do not hold the door at approximately the half way open point as is required. This is generally an indication of needed adjustment to the tension. The purpose of the springs is to prevent the door from slamming shut if manually operated.

**Recommendation:** Because these springs are preloaded, it is recommended the condition noted be corrected only by a licensed/qualified service contractor.

## BATHS

### OVERALL - CONDITIONS

#### *VENTILATION*

[CR] The bath exhaust vent is in need of cleaning in all baths.

**Recommendation:** Removal of the covers and a through cleaning is recommended.